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**ADDENDUM NO. 2**

To the Drawings and Project Manual dated 19 March 2018  
for

**MIDWESTERN STATE UNIVERSITY**  
**MOFFETT LIBRARY RENOVATION**  
**PHASE I**

3410 Taft Boulevard Wichita Falls, Texas 76308



Addendum Date: 17 April 2018

**NOTICE TO PROPOSERS:**

This addendum is hereby made part of the Project Specifications and Drawings dated March 19, 2018.

The Project Specifications and Drawings shall be supplemented or amended as specified herein.

This Addendum contains changes to the requirement of the Project Specifications. Such changes shall be incorporated into the Contract Documents and shall apply to work with the same meaning and force as if they had been included in the original Documents. Whenever this Addendum modifies a portion of a paragraph of the Project Specifications, the remainder of the paragraph affected shall remain in force. Added information is shown as Bold, deleted information is shown as strikethrough.

This Addendum contains changes to the requirement of the Drawings. Such changes shall be incorporated into the Contract Documents and shall apply to work with the same meaning and force as if they had been included in the original Documents. Whenever this Addendum modifies a portion of any drawing, the remainder of the drawing affected shall remain in force. Added, deleted or revised information is shown as "clouded".

The conditions and terms of the basic Contract Documents shall govern work unless otherwise described in this Addendum. Whenever the conditions of work, and the quality or quantity of materials, or workmanship are not fully described in this Addendum, the conditions of work included in the basic Contract Documents for similar items of work shall apply to the work described in this Addendum.

If no similar items of work are included in the basic Contract Document, the best quality of material and workmanship shall apply and all work shall be subject to the written acceptance of the Architect.

## I. REVISIONS TO PROJECT MANUAL/SPECIFICATIONS

### A. SPECIFICATION SECTION 073213 - CLAY ROOF TILES

Item: Page 073213-4.

Description:

1. DELETE: Under Part 2.1(A)(2), the indication to "match existing roof at Bolin Science Building". ADD: the tiles for this Project shall match the existing roofing tiles at Moffett Library.
2. ADD: As clarification under Part 2.1(A)(1), *Ludowici Roofing Tiles* are the only acceptable manufacturer of Roofing Tiles for this project as they match the existing tiles used on this Building and the Campus. The colors, blends, and patterns listed may not necessarily match this Building. Contractor shall provide color sample tiles in a Mock-up as defined in Part 1.4(C) on page 073213-1 for review and approval by the Owner and Architect. All new tiles shall be full cut tiles.

### B. SPECIFICATION SECTION 221116 - DOMESTIC WATER PIPING

Item: To Part 3.18(E)(2), PIPING SCHEDULE on page 221116-16.

Description:

1. ADD: As clarification, PEX pipe, in accordance with this Section, is not an acceptable product for domestic water piping.

### C. SPECIFICATION SECTION 221316 - SANITARY WASTE AND VENT PIPING

Item: To Part 3.2, PIPING APPLICATIONS on page 221316-5.

Description:

1. ADD: As clarification, refer to this Section for allowable Sanitary Sewer piping defined as above ground and below ground.

## II. REVISIONS AND CLARIFICATIONS TO DRAWINGS

### A. ARCHITECTURAL DRAWINGS - Sheets "I-001", "I-101", "I-102", and "I-103".

Replace the Drawings with the revised Sheets attached in this Addendum. Revisions have been made to the "ROOM FINISH SCHEDULE" and the "FLOORING FINISH PLANS" concerning the provision of temporary carpet flooring in Vestibules leading to Men's and Women's Toilet areas.

### B. STRUCTURAL DRAWINGS - Sheets "S101" ("Steel Joist Notes"), "S205" ("Partial Roof Framing Plan" - Detail "4/S205"), and "S401" (Structural Details "1/S401", "2/S401", "3/S401", and "4/S401"); and ARCHITECTURAL DRAWINGS - Sheets "A-792" and "A-793" ("Elevator Sections").

It shall be the Contractor's option to provide Structural Steel Tube framing in lieu of the specified Steel Joists for the Roof Framing members at the New Elevator Tower. If this option is chosen, the Contractor shall clearly indicate in their Proposal the use of Steel Tubes in lieu of Steel Joists.

### C. MECHANICAL/PLUMBING DRAWINGS (also refer to ADDENDUM #1).

Item: As clarification, refrigerant piping shall be routed in the new walls for the IT Closets/Rooms. The shortest route possible with the pipes concealed is acceptable.

Item: As clarification, the new Condensing Unit will be mounted on the existing roof on 24" long sections of *Erico/Caddy* "Pyramid ST" Equipment mounts. Provide two (2) 24" sections per Condensing Unit.

Item: As clarification, the refrigerant piping for the new Condensing Unit can be brought up through the roof or extended out through the 3<sup>rd</sup> Floor wall. Whichever routing method is used, the penetration shall be weather-tight and in the case of the roof, shall be in compliance with the existing roof warranty.

Item: ~~DELETE~~ the Submersible Pump "SP-1" as indicated on the "PUMP SCHEDULE" on Sheet "P001".  
ADD: The Submersible Pump "SP-1" shall be an Oil Sensing submersible pump, *Stancor* "Oil Minder" Elevator System, Model #SE50 with control system and oil sensors.

Item: As clarification, refer to the "FIRST FLOOR PLUMBING" on Sheet "P-101" for the point of discharge of the 2" force main from the Elevator Shaft Sump Pump. (Note: International Plumbing Code Section 301.6, "Prohibited Locations" with "Exception", allowing discharge into the Floor Service Sink as indicated).

Item: As clarification, Air Handlers to be restored are located in Mechanical Rooms as follows: First Floor Mechanical Rooms ("FIRST FLOOR PLAN" on Sheet "M-201") that are located at the intersection of column lines "E1" and "E9"; Second Floor Mechanical Rooms ("SECOND FLOOR PLAN" on Sheet "M-202") that are located at the intersection of column lines "E1" and "E9"; and the Penthouse above the Third Floor that houses two (2) Air Handlers.

Item: As clarification, the Water Hammer Arrestor specified in the "WATER HAMMER ARRESTOR SCHEDULE" on Sheet "P001" aligns with the "WHA" indicated on the "PLUMBING RISER DIAGRAMS" under "DOMESTIC WATER" on Sheet "P-201".

END OF ADDENDUM NO. 2

ROOM FINISH SCHEDULE

PHASE I

Occupancy	Level	ROOM		FLOOR		WALLS				CEILING	Finish Notes
		NO	Name	Finish	Base	North	East	South	West	Finish	
1	FIRST FLOOR	1MECH4	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	FIRST FLOOR	1ELEC1	ELECTRICAL	Existing	Existing	Existing	Existing	Existing	Existing	Existing	
1	FIRST FLOOR	1CUST2	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	FIRST FLOOR	1RR2	MEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	FIRST FLOOR	108E	STORAGE	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED. EXISTING WALL TILE TO REMAIN.
1	FIRST FLOOR	1MECH2	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	FIRST FLOOR	1MECH3	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	FIRST FLOOR	1RR1	WOMEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	FIRST FLOOR	1CUST1	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	FIRST FLOOR	108D	ELEVATOR ROOM	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED. EXISTING WALL TILE TO REMAIN.
1	FIRST FLOOR	1COMM1	IT CLOSET	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	FIRST FLOOR	1RR3	ADA	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	FIRST FLOOR	1RR4	ADA	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	FIRST FLOOR	104	VEST.	CPT2	RB1		PT4	PT4	PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK
1	FIRST FLOOR	105	VEST.	CPT2	RB1		PT4	PT4	PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK
1	FIRST FLOOR	108A	STOR.	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	FIRST FLOOR	1ELEV1	ELEVATOR	LIN1	SEE FINISH NOTES	LAM1	LAM1	LAM1	LAM1	SEE FINISH NOTES	ARCHITECT TO SELECT FROM MANUFACTURER'S STANDARD
1	FIRST FLOOR	1COMM2	IT CLOSET	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	SECOND FLOOR	2MECH5	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	SECOND FLOOR	2RR2	MEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	SECOND FLOOR	2CUST6	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	SECOND FLOOR	2MECH4	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	SECOND FLOOR	2RR1	WOMEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	SECOND FLOOR	2CUST5	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	SECOND FLOOR	210	STORAGE	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED. EXISTING WALL TILE TO REMAIN.
1	SECOND FLOOR	2COMM1	IT CLOSET	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	SECOND FLOOR	212	STOR.	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED. EXISTING WALL TILE TO REMAIN.
1	SECOND FLOOR	207	VEST.	CPT2	RB1	PT4	PT4		PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK
1	SECOND FLOOR	209	VEST.	CPT2	RB1		PT4	PT4	PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK
1	SECOND FLOOR	209	STORAGE	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	SECOND FLOOR	2MECH7	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	SECOND FLOOR	2COMM2	IT CLOSET	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	THIRD FLOOR	3MECH9	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	THIRD FLOOR	3MECH8	MECHANICAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	THIRD FLOOR	3RR2	MEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	THIRD FLOOR	3CUST6	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	THIRD FLOOR	3RR1	WOMEN	T1	TB1	PT4/CT3	PT4/CT3	PT4/CT3	PT4/CT3	ACT1B	SEE SHEET A-731 FOR FINISH DETAILS
1	THIRD FLOOR	3CUST1	CUSTODIAL	Existing	Existing	Existing	Existing	Existing	Existing	Exposed	
1	THIRD FLOOR	303A	STORAGE	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED.
1	THIRD FLOOR	311A	STORAGE	BBT1	Existing	PT1	PT1	PT1	PT1	Existing	EXISTING FLOOR TILE TO BE REMOVED. EXISTING WALL TILE TO REMAIN.
1	THIRD FLOOR	3COMM1	IT CLOSET	SEE FINISH NOTES	RB1	PT1	PT1	PT1	PT1	Exposed	EXISTING CARPET TO BE REMOVED. EXPOSED CONCRETE TO BE PATCHED & REPAIRED AS NEEDED.
1	THIRD FLOOR	347	VEST.	CPT2	RB1		PT4	SEE FINISH PLANS	PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK
1	THIRD FLOOR	307H	VEST.	CPT2	RB1	PT4	PT4		PT4	ACT1	PROVIDE TEMPORARY CARPET FLOORING FOR PHASE I WORK. SELECTED CARPET TO BE INSTALLED DURING PHASE II WORK

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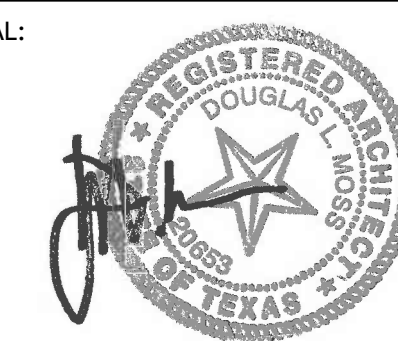
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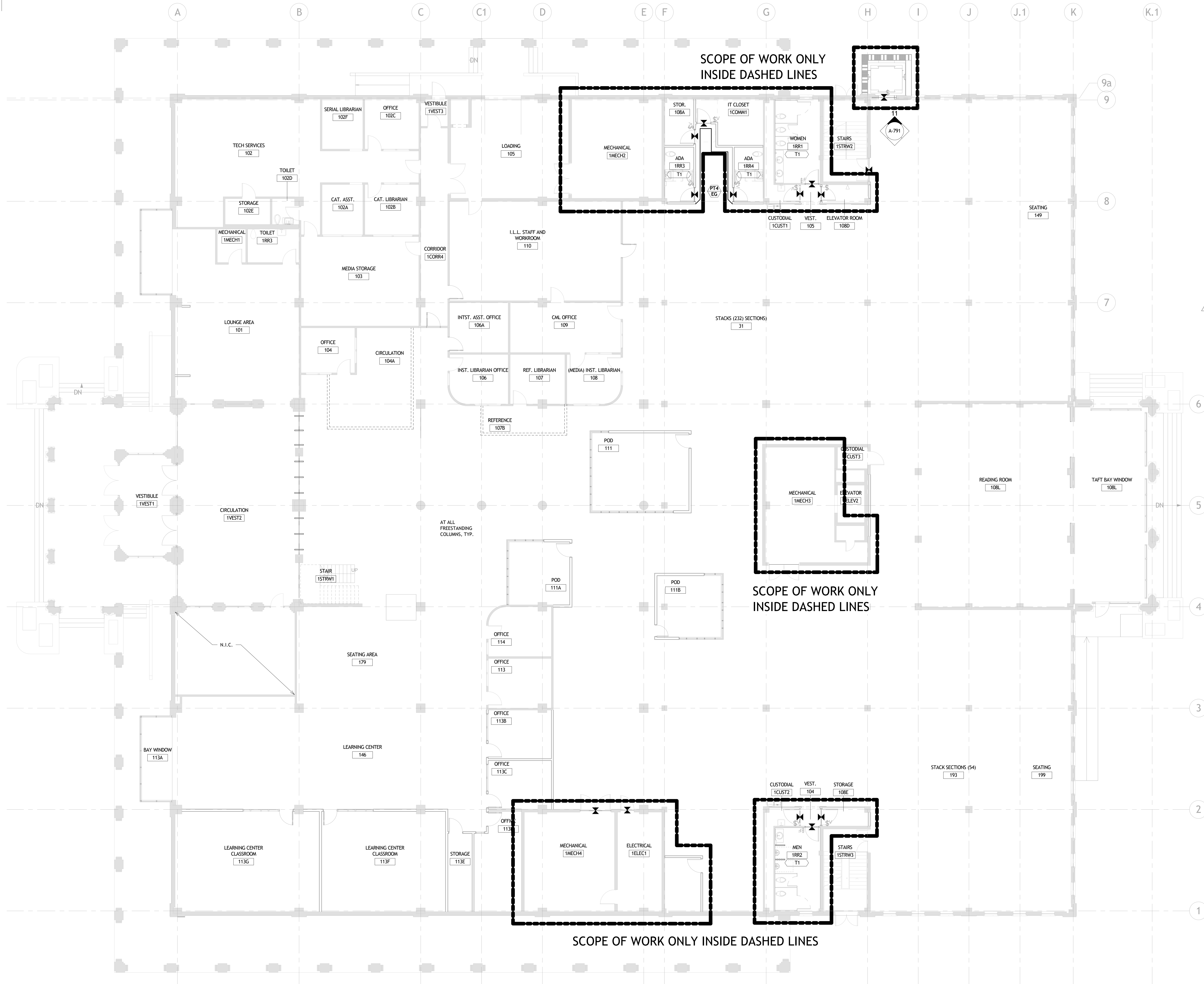
PHASE I

REVISION	DESCRIPTION	DATE
2	ADDENDUM 2	04.17.18

HMB PROJECT NUMBER: 06113.00

FINISH & MATERIAL SCHEDULE, NOTES & DETAILS

I-001



**FINISH LEGEND**

- ABBREVIATIONS**
- EXIST: FINISH IS EXISTING TO REMAIN  
 REFER: CONTRACTOR TO REFER TO FINISH SCHEDULE AND/OR ELEVATIONS FOR FINISH  
 FL: FLAT  
 EG: EGGSHELL  
 SG: SEMI-GLOSS  
 G: GLOSS
- SYMBOL KEYS**
- FLOOR FINISH
  - FLOOR FINISH TRANSITION
  - FLOORING DIRECTION
  - WALL FINISH
  - WALL FINISH SHEEN

- GENERAL NOTES:**
- LEVEL FLOOR AS REQUIRED AT ALL FLOORING MATERIAL TRANSITIONS
  - FLOORING MATERIAL BREAKS AT DOOR CENTERLINE, UNLESS OTHERWISE NOTED
  - ALL CARPET TILE TO RUN IN DIRECTION AS INDICATED ON FINISH PLANS
  - RB-1 TO BE INSTALLED ON ALL WALLS UNLESS OTHERWISE NOTED IN FINISH SCHEDULE
  - STEPS AND LANDINGS OF STAIRS TO RECEIVE RUBBER TREAD AND NOSING
  - CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY EXPOSED SURFACES THAT DOES NOT HAVE A FINISH SPECIFIED, PRIOR TO SUBMITTING A BID.
  - VESTIBULES: VEST. 104, 105, 207, 209, 307H AND 347 TO RECEIVE TEMPORARY CARPET FLOORING DURING PHASE I OF CONSTRUCTION. FINAL CARPET FINISH TO BE INSTALLED DURING PHASE II WORK

- PAINT FINISHES:**
- ALL GYPSUM WALLS SHALL BE PAINTED PTX/EG AS SPECIFIED ON FINISH PLANS.
  - ALL FREESTANDING COLUMNS TO BE PAINTED PT1 UON.
  - COLUMNS THAT OCCUR IN A WALL SHALL BE PAINTED TO MATCH WALL UON.
  - GYPSUM WALLBOARD TO RECEIVE EGGSHELL FINISH, UON.
  - ALL HOLLOW METAL FRAMES & DOORS TO BE PAINTED PT-7 IN SEMI-GLOSS FINISH UON.
  - PAINT ALL EXISTING WOOD FRAMES & DOORS, WINDOW WOOD FRAMES & CEILING WOOD TRIM TRANSITIONS AS SPECIFIED ON FINISH PLANS.
  - EXISTING WALL TILE IN THE STAIRS TO REMAIN AS IS. PORTION OF WALL ABOVE THE TILE TO BE PAINTED AS SPECIFIED ON THE FINISH PLANS

- PHASE LEGEND**
- PHASE I - WORK TO BE COMPLETED IN 2018
  - PHASE II - WORK TO BE COMPLETED IN 2019

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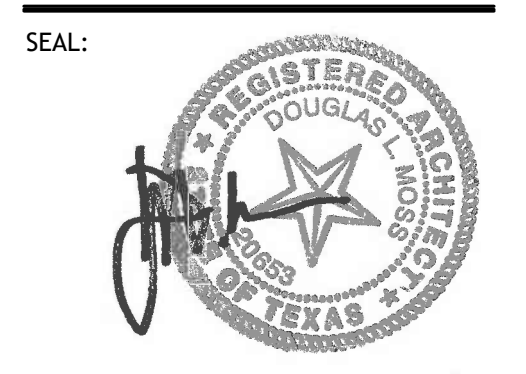
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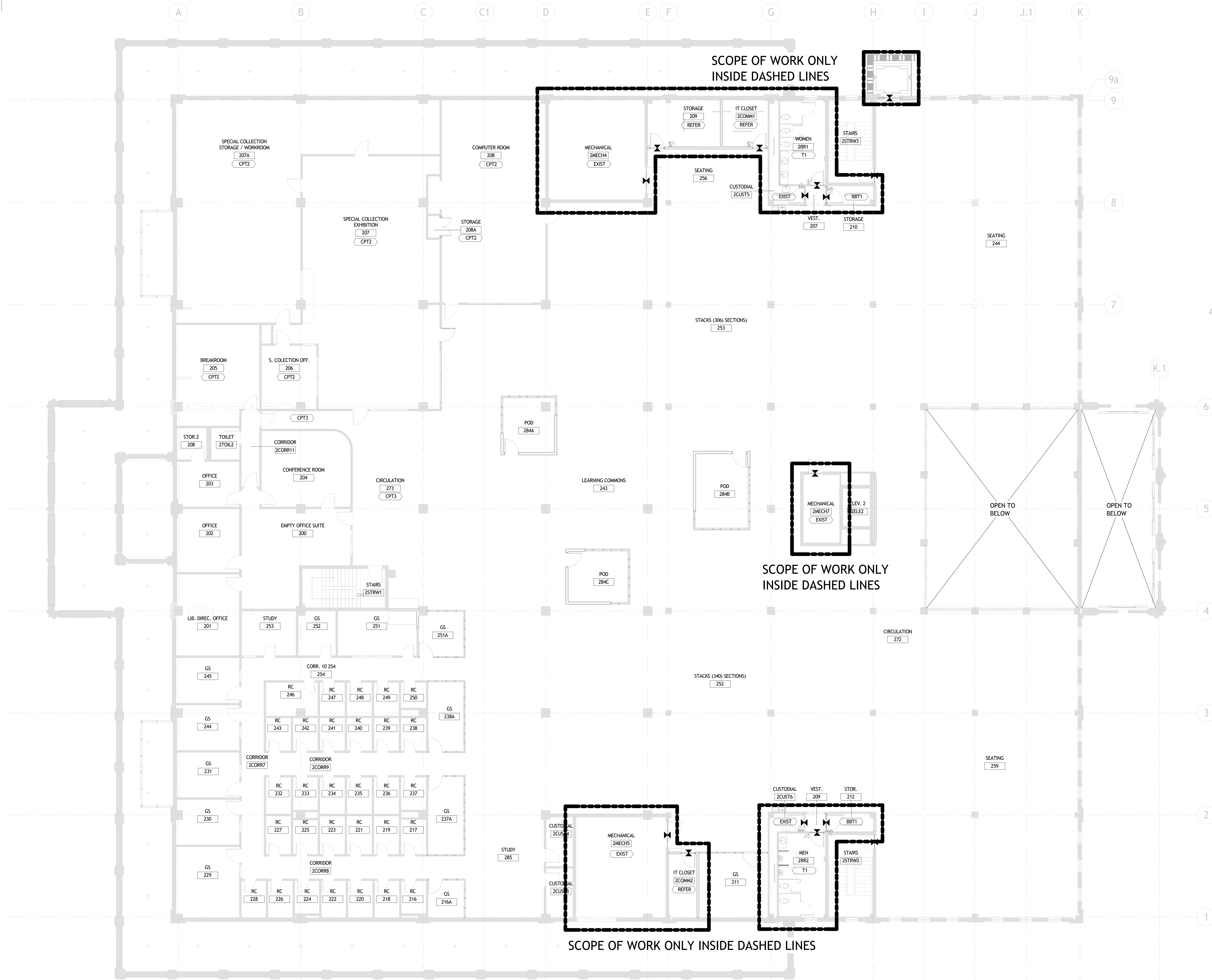
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 PHASE I

REVISION	DESCRIPTION	DATE
1	ISSUE DATE:	03.19.2018
2	ADDENDUM 2	04.17.18

HMB PROJECT NUMBER: 06113.00  
**FIRST FLOOR FINISH PLAN**

**1 FIRST FLOOR FLOORING FINISH PLAN**  
 SCALE: 1/8" = 1'-0"

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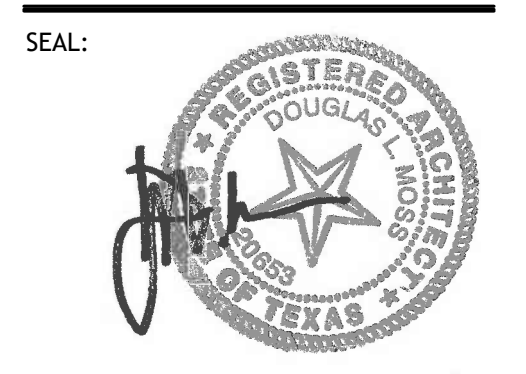
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**PHASE I**

REVISION	DESCRIPTION	DATE
1		03.19.2018
2	ADDENDUM 2	04.17.18

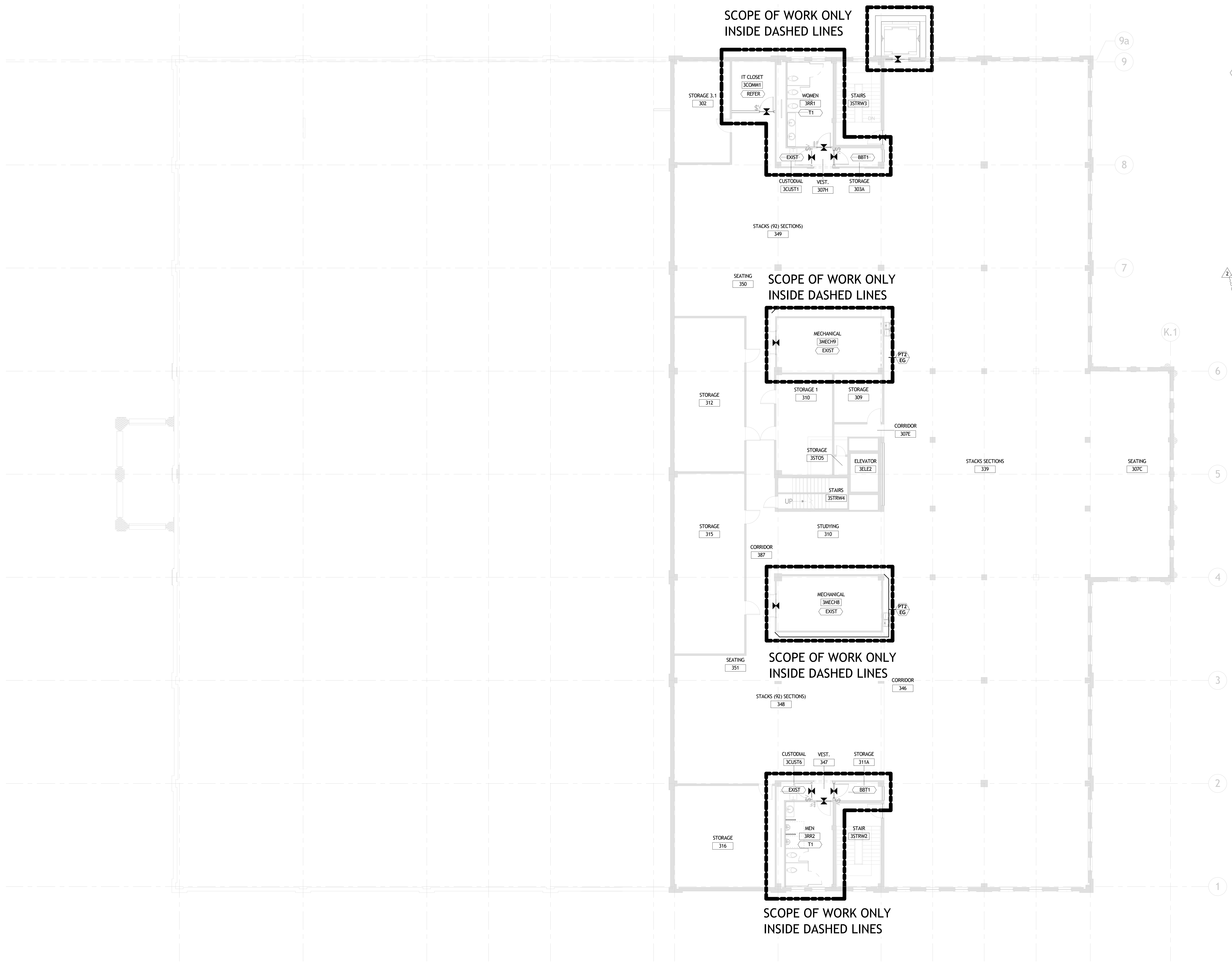
HMB PROJECT NUMBER: 06113.00  
**SECOND FLOOR FINISH PLAN**

**1 SECOND FLOOR FLOORING FINISH PLAN**  
 SCALE: 1/8" = 1'-0"

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  - VESTIBULES, VEST., 104, 105, 207, 209, 307H AND 347 TO RECEIVE TEMPORARY CARPET FLOORING DURING PHASE I OF CONSTRUCTION. FINAL CARPET FINISH TO BE INSTALLED DURING PHASE II WORK

- PAINT FINISHES:**
- ALL GYPSUM WALLS SHALL BE PAINTED PTX/EG AS SPECIFIED ON FINISH PLANS.
  - ALL FREESTANDING COLUMNS TO BE PAINTED PT1 UON.
  - COLUMNS THAT OCCUR IN A WALL SHALL BE PAINTED TO MATCH WALL UON.
  - GYPSUM WALLBOARD TO RECEIVE EGGSHELL FINISH, UON.
  - ALL HOLLOW METAL FRAMES & DOORS TO BE PAINTED PT-7 IN SEMI-GLOSS FINISH UON.
  - PAINT ALL EXISTING WOOD FRAMES & DOORS, WINDOW WOOD FRAMES & CEILING WOOD TRIM TRANSITIONS AS SPECIFIED ON FINISH PLANS.
  - EXISTING WALL TILE IN THE STAIRS TO REMAIN AS IS. PORTION OF WALL ABOVE THE TILE TO BE PAINTED AS SPECIFIED ON THE FINISH PLANS

- PHASE LEGEND**
- PHASE I - WORK TO BE COMPLETED IN 2018
  - PHASE II - WORK TO BE COMPLETED IN 2019

**HOLZMAN MOSS BOTTING ARCHITECTURE**

ARCHITECT OF RECORD:  
**HOLZMAN MOSS BOTTING ARCHITECTURE**  
 90 BRAD STREET, SUITE 1803  
 NEW YORK, NEW YORK 10004  
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 WWW.HOLZMANMOSSBOTTING.COM

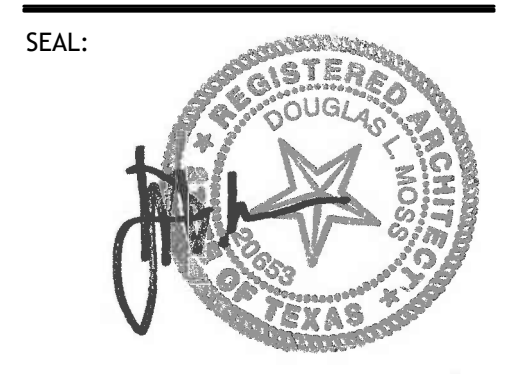
ASSOCIATE ARCHITECT:  
**HARPER PERKINS ARCHITECTS**  
 4514-KO JACOBS DRIVE  
 WICHITA FALLS, TX, 76302  
 T: 940-767-4421

MEP ENGINEER:  
**SUMMIT CONSULTANTS**  
 1300 SUMMIT AVE, SUITE 500  
 FORT WORTH, TX, 76102  
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STRUCTURAL ENGINEER:  
**RTP STRUCTURAL**  
 107 W. GRAND STREET, SUITE 204  
 ROCKWALL, TX, 75087  
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IT / AV CONSULTANT:  
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 T: 214-420-9111

**MSU - MOFFETT LIBRARY RENOVATION**  
 MIDWESTERN STATE UNIVERSITY  
 WICHITA FALLS, TEXAS



100% CD SUBMISSION  
**PHASE I**

REVISION	DESCRIPTION	DATE
2	ADDENDUM 2	04.17.18

HMB PROJECT NUMBER: 06113.00

**THIRD FLOOR FINISH PLAN**

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